

Bayshore Food Truck Park (Bayshore Parking Lot)

Site Development Plan Amendment to PL20170000252

Located in Collier County, Florida
Section 11, Township 50 South, Range 25 East

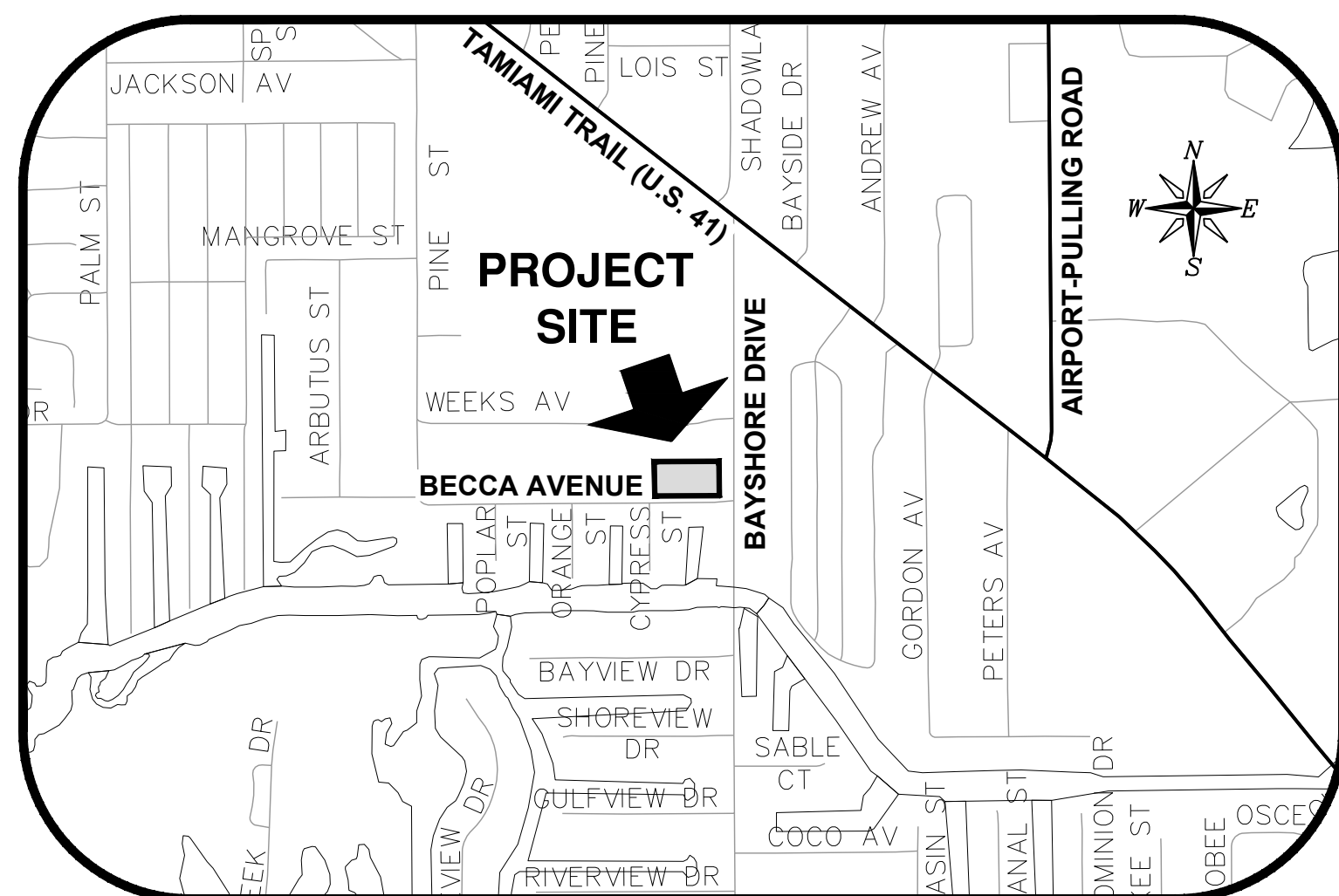
Owner/Developer:

NAPLES 2.0, LLC.

Rebecca Maddox
2055 Trade Center Way
Naples, Florida 34108
Tel: 203.733.0665

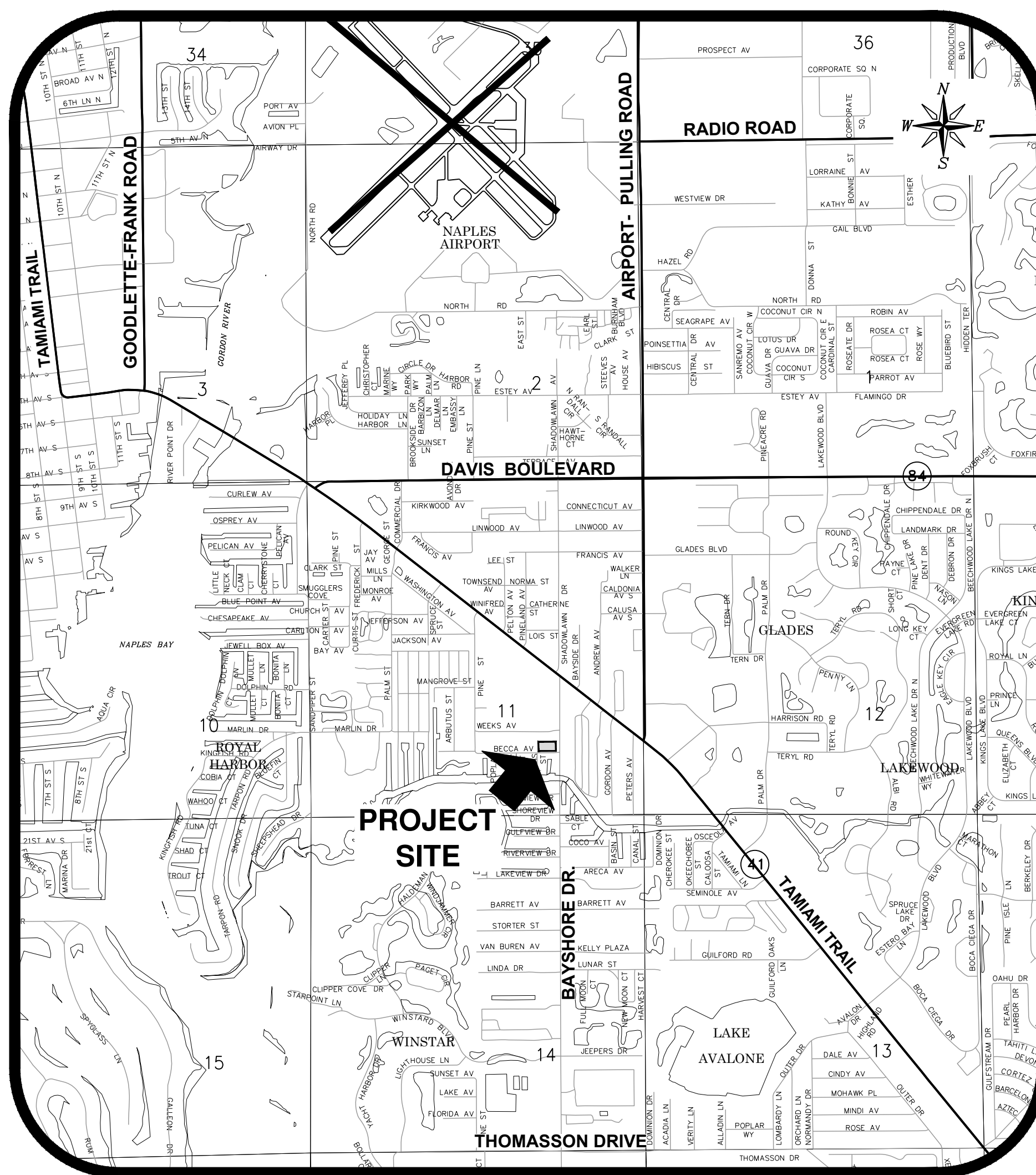
COLLIER COUNTY ZONING: RMF-6-BMUD-R1

COLLIER COUNTY FOLIO NUMBER: 81271240003



Vicinity Map

N.T.S.



Location Map

N.T.S.

Prepared by:



GradyMinor

Civil Engineers • Land Surveyors • Planners • Landscape Architects
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151 Business LC 26000266

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BUILDING SUMMARY

DESCRIPTION	2014 FBC CONSTRUCTION TYPE	BUILDING A/C S.F.	BUILDING UNDER ROOF S.F.	NO. OF STORIES	FIRE SPRINKLER
TIKI BAR	TYPE IIB	0	3,584	1	NON-SPRINKLERED
RESTROOM / STORAGE BUILDING	TYPE IIB	0	2,433	1	NON-SPRINKLERED

NOTE: BOTH STRUCTURES USE IS THE FOLLOWING: ACCESSORY TO FOOD TRUCKS (ASSEMBLY A-2: RESTAURANT)

Revisions

Revision	Date	Description	By
1	01/19	REVISED PER COUNTY COMMENTS DATED 11/30/18	K.L.M.
2	02/19	REVISED PER COUNTY COMMENTS	K.L.M.
3	05/19	REVISED PER COUNTY COMMENTS	D.M.S.

DATE: OCTOBER 2018
FILE NAME: BSPARKLT-COV.DWG
JOB CODE: BSPARKLT
SHEET NUMBER 1 OF 7

SUBMITTAL
SDPA

Bayshore Parking Lot
Site Development Plan Amendment to PL20170000252

GradyMinor

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EB/LB 0005151

GENERAL NOTES:

- 1) THIS PROJECT IS WITHIN THE CITY OF NAPLES WATER UTILITY SERVICE AREA. ALL CITY OF NAPLES UTILITY DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS (UTILITY STANDARDS) ARE APPLICABLE TO PROJECT AND ARE MADE A PART OF THE CONTRACT DOCUMENTS BY REFERENCE TO CURRENT CITY OF NAPLES UTILITIES STANDARDS. IN THE EVENT OF A CONFLICT BETWEEN THE CITY OF NAPLES UTILITIES STANDARDS MANUAL AND THESE SPECIFICATIONS AND DRAWINGS, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 2) THIS PROJECT'S SITE DEVELOPMENT PLAN REVIEW FALLS WITHIN COLLIER COUNTY'S AREA OF RESPONSIBILITY. AS SUCH, THE SITE DRAINAGE, SANITARY SEWER UTILITIES, ROADWAYS, SIDEWALKS, AND PARKING SPACES WILL BE CONSTRUCTED IN ACCORDANCE WITH COLLIER COUNTY LAND DEVELOPMENT CODE AND ASSOCIATED UTILITY ORDINANCES AND ARE MADE PART OF THE CONTRACT DOCUMENTS BY REFERENCE TO THE CURRENT LAND DEVELOPMENT CODE/ORDINANCE STANDARDS. IN THE EVENT OF A CONFLICT BETWEEN THE COLLIER COUNTY LAND DEVELOPMENT CODE/ORDINANCES AND THESE SPECIFICATIONS AND DRAWINGS, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 3) ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88). CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.217'.
- 4) BLACK SILT FENCE SHALL BE PLACED ALONG THE PROPERTY LINES AND/OR CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION. REFER TO CLEARING AND EROSION CONTROL PLAN SHEET FOR SILT FENCE CONSTRUCTION INFORMATION.
- 5) ALL DISTURBED AREAS SHALL RECEIVE SOD, EXCEPT WHERE SPECIFICALLY IDENTIFIED AS SEPARATE LANDSCAPE MATERIAL PER LANDSCAPE PLAN. RESTORATION OF PROJECT AREA IS INCIDENTAL TO THE PROJECT.
- 6) UTILIZE SYNTHETIC BALES, TEMPORARY BERMING, SOD, SEED, AND MULCH TO CONTROL EROSION AS REQUIRED OR DIRECTED BY THE OWNER OR ENGINEER TO MEET NPDES REQUIREMENTS.
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION AND CONTROL OF ANY EROSION, SEDIMENTATION OR SURFACE WATER TURBIDITY CAUSED BY HIS ACTIVITY.
- 8) EROSION CONTROL STRUCTURES, SEDIMENT SUMPS AND OTHER FEATURES PERMITTED AS PART OF THE NPDES PERMIT SHALL BE CONSTRUCTED AS EARLY AS POSSIBLE IN THE CONSTRUCTION SEQUENCE.
- 9) DURING CONSTRUCTION, GRATE INLET AND JUNCTION BOX OPENINGS SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO INLETS.
- 10) EXISTING REFERS TO FACILITIES EITHER PREVIOUSLY CONSTRUCTED OR TO BE CONSTRUCTED UNDER SEPARATE PERMITTING ACTION.
- 11) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- 12) CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER AND OWNER WRITTEN APPROVAL FOR ANY DEVIATION IN PLANS AND/OR SPECIFICATIONS.
- 13) CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO COLLIER COUNTY FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION, AS PART OF THE R.O.W. PERMIT PROCESS.
- 14) CONTRACTOR SHALL ATTEND PRE-CONSTRUCTION MEETING WITH COLLIER COUNTY, OWNER AND ENGINEER PRIOR TO START OF CONSTRUCTION.
- 15) CONTRACTOR SHALL CLEAR, GRUB AND REMOVE TREES IN THE CONSTRUCTION AREA, AT A MINIMUM, IN ORDER TO FACILITATE THE CONSTRUCTION. ACTUAL LIMITS OF CLEARING SHALL BE DETERMINED IN THE FIELD BY OWNER OR ENGINEER.
- 16) EXOTIC VEGETATION AS DEFINED BY THE COLLIER COUNTY LAND DEVELOPMENT CODE (LDC), SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL (IN PERPETUITY) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 17) THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS AND DEBRIS (INCLUDING EXISTING STRUCTURES) NOT REQUIRED TO REMAIN IN THE PROPOSED CONSTRUCTION AREA, WHERE SO DEPICED BY THE OWNER'S REPRESENTATIVE. TREES AND VEGETATION WITHIN THE CLEARING LIMITS SHALL BE PROTECTED, LEFT STANDING, AND TRIMMED TO PREVENT DAMAGE TO LIMBS AND ROOTS DURING CONSTRUCTION.
- 18) CONTRACTOR SHALL REMOVE ALL MUCK AND OTHER UNSUITABLE MATERIAL FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL MUCK AND OTHER UNSUITABLE MATERIAL EXCAVATED FROM PROJECT AREAS OR REMOVED FROM FILL AREAS SHALL BE STOCKPILED AND THEN PLACED WITHIN THE PROPOSED PROJECT AS DETERMINED BY OWNER.
- 19) ALL FILL SLOPES SHALL BE PROPERLY COMPACTED AS REQUIRED IN THE SPECIFICATIONS AND SHALL BE SEEDED OR SODDED AS DIRECTED BY OWNER WITHIN 48 HOURS OF FINAL GRADING.
- 20) THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ALL DEAD LANDSCAPE MATERIAL AND MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM AFTER THE EXPIRATION OF THE CONTRACTOR'S WARRANTY PERIOD.
- 21) THE CONTRACTOR SHALL REPLACE OR REPAIR ANY DAMAGED PROPERTY OR IMPROVEMENTS THAT HAVE BEEN DAMAGED DURING CONSTRUCTION TO A CONDITION EQUAL TO OR BETTER THAN EXISTED PRIOR TO CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
- 22) THE OWNER OR HIS ASSIGNEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE WATER MANAGEMENT SYSTEM, OPEN SPACE AND COMMON AREAS.
- 23) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION, DEPTH, SIZE AND MATERIAL TYPE OF ALL UNDERGROUND UTILITIES IN THE WORK AREA PRIOR TO CONSTRUCTION USING PROCEDURES AND METHODS AS REQUIRED BY THE CONTRACT DOCUMENTS.
- 24) THE CONTRACTOR IS REQUIRED TO FULLY INVESTIGATE THE SITE PRIOR TO SCHEDULING OR COMMENCING THE WORK.
- 25) THE CONTRACTOR SHALL PROTECT ALL TREES, BUSHES AND IRRIGATION SYSTEMS DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY EXISTING LANDSCAPING (I.E. SOD, BUSHES, TREES, ETC.) AND SPRINKLE PIPE, SPRINKLER HEADS AND ALL IDENTIFIED IMPROVEMENTS THAT MAY HAVE TO BE REMOVED OR HAVE BEEN DAMAGED OR INJURED DURING CONSTRUCTION.
- 26) THE CONTRACTOR IS RESPONSIBLE FOR BACKFILLING AND GRADING ALL DISTURBED AREAS.
- 27) THE CONTRACTOR IS RESPONSIBLE FOR MOWING AND MAINTENANCE OF THE RESTORED GROUND COVER UNTIL SUBSTANTIAL COMPLETION.
- 28) THE REVIEW AND APPROVAL OF THESE IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORDS.
- 29) THE CONTRACTOR SHALL ACCURATELY PLOT THE LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INSTALLED ON A FINAL SET OF RECORD DRAWINGS WHICH SHALL BE DELIVERED TO THE ENGINEER PRIOR TO PRELIMINARY ACCEPTANCE BY COLLIER COUNTY.
- 30) DRIVEWAYS, SIDEWALKS, AND OTHER RIGHT-OF-WAY OR EASEMENT ENCROACHMENTS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER AND TO THE SATISFACTION OF THE ENGINEER.
- 31) LANDSCAPING AND IRRIGATION SHALL BE INSTALLED PRIOR TO PRELIMINARY ACCEPTANCE.
- 32) CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE COLLIER COUNTY GROUNDWATER PROTECTION ORDINANCE NO. 91-103, SECTION 4.10.1.1.2A.
- 33) INSTALLATION OF SUBSURFACE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WATER AND IRRIGATION LINES, SEWER LINES, PUBLIC UTILITIES AND STORM DRAINAGE IS REQUIRED PRIOR TO COMPACTION OF SUBGRADE AND ROADWAY CONSTRUCTION.
- 34) THE FIRE PROTECTION WATER SUPPLY INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND IN-SERVICE PRIOR TO PLACING COMBUSTIBLE MATERIALS ON SITE. FIRE HYDRANTS SHALL BE MARKED IN A UNIFORM MANNER, IN ACCORDANCE WITH NFPA 291.
- 35) ANY WORK WITHIN R.O.W.'S SHALL REQUIRE A COLLIER COUNTY RIGHT-OF-WAY PERMIT.
- 36) THE OWNER OR HIS ASSIGNEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ONSITE PRIVATE POTABLE WATER, NON-POTABLE IRRIGATION WATER, AND WASTEWATER SYSTEMS SERVING THE BAYSHORE FOOD TRUCK PARK.
- 37) ALL COSTS & EXPENSES OF ANY AND ALL REPAIRS, REPLACEMENTS, MAINTENANCE, AND RESTORATIONS OF ABOVE GROUND IMPROVEMENTS PERMITTED WITHIN A C.U.E. SHALL BE THE SOLE FINANCIAL RESPONSIBILITY OF THE GRANTOR, ITS SUCCESSORS OR ASSIGNS.

PARKING CALCULATIONS

BUILDING	CRITERIA	REQUIRED	PROVIDED
RESTAURANT / FOOD TRUCK PADS (1,632 S.F.)	1 SPACE PER 150 S.F.	11	12
RESTROOMS / STORAGE BUILDING (120 S.F.)	1 SPACE PER 150 S.F.	1	1
BAR AREA (630 S.F.)	1 SPACE PER 50 S.F.	13	13
OUTDOOR / COVERED SEATING AREA (3,203 S.F.)	1 SPACE PER 75 S.F.	43	50
TOTAL (INCLUDING HANDICAPPED)		68	76
HANDICAPPED PARKING REQUIRED		3	4

BICYCLE PARKING PROVIDED = ± 21

PERIMETER LANDSCAPE BUFFERING

ADJACENT RESIDENTIAL AREA NORTH SIDE	15' WIDE, TYPE 'B'
ADJACENT ROAD RIGHT-OF-WAY SOUTH SIDE	10' WIDE, TYPE 'A'
ADJACENT ROAD RIGHT-OF-WAY EAST SIDE	25' WIDE, TYPE 'B'
ADJACENT RESIDENTIAL AREA WEST SIDE	15' WIDE, TYPE 'B'

SITE DATA

	ACRES	SQ. FT.	%
IMPERVIOUS AREAS			
PAVEMENT (w/Curb)	= 0.57	24,804	61
CONCRETE & PAVER BLOCK (Sidewalk/Wall/Other)	= 0.04	1,813	4
TOTAL IMPERVIOUS AREA	= 0.61	26,617	65
PERVIOUS AREAS			
MANGROVES (ON SITE)	= 0.02	758	2
DRY DETENTION	= 0.07	3,032	7
OPEN SPACE	= 0.23	10,314	26
TOTAL PERVIOUS AREA	= 0.32	14,104	35
TOTAL SITE AREA	= 0.93	40,712	100

UTILITY COORDINATION NOTES:

1. THE LOCATIONS OF THE EXISTING AND PROPOSED UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE UTILITY OWNER AND CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
2. BEFORE BEGINNING EXCAVATION IN THE AREA, THE CONTRACTOR SHALL NOTIFY "SUNSHINE ONE CALL" UNDERGROUND UTILITY NOTIFICATION CENTER AT 811 OR 1-800-432-4770 AND ANY UTILITIES WHICH MIGHT BE AFFECTED AT LEAST 48 HOURS IN ADVANCE. ALL UTILITY OWNERS MAY NOT BE A MEMBER, REQUIRING DIRECT CONTACT:
- | | | | |
|------------------|--------------|--------------------|--------------|
| SERVICE PROVIDER | CONTACT | UTILITY COMPANY | TELEPHONE |
| CABLE: | MARK COOK | COMCAST | 239-432-1805 |
| ELECTRIC: | RYAN DRUMM | FPL | 239-353-6047 |
| | | (24 HR. EMERGENCY) | 800-468-8243 |
| TELEPHONE: | GLADYS HUMES | CENTURY LINK | 239-263-6318 |
| | | (24 HR. EMERGENCY) | 611 |
- UNDERGROUND FACILITY LOCATION SERVICES: (THE SUNSHINE STATE) 1-800-432-4770
- GAS: JASON WILHITE TECO 239-340-8005
3. ROUTINE COUNTY & CITY INSPECTIONS SHALL BE PERFORMED WITHOUT NOTICE ON ALL POTABLE WATER, NON-POTABLE IRRIGATION WATER AND/OR WASTEWATER SYSTEMS CONSTRUCTION TO ENSURE COMPLIANCE WITH COUNTY & CITY APPROVED CONSTRUCTION DOCUMENTS. IN THE EVENT THE COUNTY & CITY INSPECTOR, OR AN EMPLOYEE OF THE PUBLIC UTILITIES DIVISION, DURING AN ON-SITE INSPECTION, FINDS CONSTRUCTION IN PROGRESS WHICH DOES NOT COMPLY WITH THE PROCEDURES AND POLICIES CONTAINED HEREIN AND/OR THE APPROVED CONSTRUCTION DOCUMENTS, THE COUNTY INSPECTOR, OR EMPLOYEE OF THE PUBLIC UTILITIES DIVISION SHALL HAVE FULL AUTHORITY TO ISSUE A STOP WORK ORDER. SUCH STOP WORK ORDER SHALL REMAIN IN FULL FORCE AND EFFECT WITH RESPECT TO THE NON-COMPLIANT WORK UNTIL THE DOCUMENTED DISCREPANCIES HAVE BEEN CORRECTED TO THE FULL SATISFACTION OF THE PUBLIC UTILITIES DIVISION. CONSTRUCTION-RELATED INSPECTIONS, WHERE APPLICABLE, SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
- a. HOT TAPS TO POTABLE WATER LINES LARGER THAN 6" AND WASTEWATER SYSTEMS LINES GREATER THAN 4".
- b. MASTER METER AND BYPASS PIPING.
- c. JACK & BORE CASINGS.
- d. PRESSURE TESTS.
- e. INFILTRATION/EXFILTRATION TESTS.
- f. LIFT STATION INSTALLATION, PRIOR TO COVER-UP AND START-UP.
- g. LIFT STATION START-UP.
- h. LAMPING OF SEWER LINES.
- i. PIGGING AND FLUSHING OF WASTEWATER LINES, FORCE MAINS, POTABLE WATER MAINS AND NONPOTABLE IRRIGATION LINES.
- NOTE: FULL BORE FLUSHING AND PIGGING OF POTABLE WATER LINES NEED ONLY WATER DEPARTMENT INSPECTION.
- j. TELEVISION VIDEO TAPING OF WASTEWATER LINES AT END OF CONSTRUCTION AND THE WARRANTY PERIOD ("N-OFFICE REVIEW").
- k. CONFLICT CONSTRUCTION.
- l. CONNECTIONS TO EXISTING POTABLE WATER, NON-POTABLE IRRIGATION WATER AND WASTEWATER SYSTEMS.
- m. 8" DIAMETER OR LARGER CASING INSTALLATIONS.
- n. OTHER SPECIAL REQUIREMENTS AS SPECIFIED BY THE COUNTY STAFF AT THE TIME OF CONSTRUCTION DOCUMENT APPROVAL.
- o. CHLORINATION OF WATER LINES AND REFRESHING OF LINE AFTER CHLORINATION (NEEDS ONLY WATER DEPARTMENT INSPECTION ONLY).
- p. INSTALLATION OF TEMPORARY METERS/BACKFLOWS.
- q. BACTERIOLOGICAL SAMPLING (NEEDS WATER DEPARTMENT INSPECTION ONLY).
- r. HOT TAPS TO ANY WATER DOCUMENTED MAINS, PRESSURE TESTS ON LINES 20" AND GREATER, AND CONNECTIONS TO EXISTING POTABLE SYSTEMS GREATER THAN 12" NEED TO BE INSPECTED BY THE WATER DEPARTMENT AND CDES.
- s. FIRE FLOW TESTING.
- * INSPECTOR ON BEHALF OF THE COUNTY/CITY OR OTHER QUALIFIED EMPLOYEE OF THE COUNTY/CITY MUST BE PRESENT DURING INSPECTIONS MARKED WITH AN ASTERISK. 48 HOURS ADVANCE NOTIFICATION REQUIRED.
4. THE OWNER OR HIS ASSIGNEE WILL INSTALL THE SERVICE LEADS AND METER BOXES.

ROADWAY PAVING AND RESTORATION & SIGNING AND MARKING NOTES

1. ASPHALTIC CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN TWO LIFTS.
2. 12 INCH STABILIZED SUBGRADE SHALL EXTEND ONE FOOT BEYOND THE EDGE-OF-PAVEMENT ON ALL TYPICAL ROADWAY SECTIONS.
3. ROADWAY SIGNAGE AND PAVING MARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FDOT DESIGN STANDARDS, AND CURRENT COUNTY REQUIREMENTS UNLESS SPECIFIED OTHERWISE.
4. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS WELL AS ROADWAY DESIGN ARE TO BE IMPLEMENTED IN ACCORDANCE WITH STANDARDS ADOPTED BY THE STATE IN ACCORDANCE WITH STATE STATUTE.
5. FINAL PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC THERMOPLAST PAINT.
6. TRUNCATED DOMES SHALL BE INSTALLED AT ALL PEDESTRIAN CROSSINGS.

ZONING DATA (RMF-6-BMUD-__)

	PRINCIPAL USES	PROVIDED
MINIMUM LOT WIDTH	100 FEET	124 FEET
MINIMUM FRONT YARD	5 FEET	5 FEET
MAXIMUM FRONT YARD	20 FEET	5 FEET
REAR YARD	20 FEET	21 FEET
SIDE YARD	5 FEET	5 FEET
WATERFRONT SETBACK*	0 FEET (BULKHEAD)	19.5 FEET
MAXIMUM HEIGHT (ZONED HT FROM F.F.E. TO MID PT)	56 FEET	22 FEET
ACTUAL HEIGHT		

* PER L.D.C. 4.02.05B

SURFACE WATER MANAGEMENT SUMMARY
BAYSHORE FOOD TRUCK PARK (SOUTH PARCEL)

CRITERIA	ELEV. (FT-NAVD)
CONTROL ELEVATION	0.36
10-YEAR, 3 DAY PEAK STAGE	4.78
25-YEAR, 3 DAY PEAK STAGE	4.93
100-YEAR, 72 HOUR, 3 DAY PEAK STAGE	6.48
MINIMUM RECOMMENDED PARKING LOT ELEVATION	5.50
MINIMUM RECOMMENDED FINISHED FLOOR ELEVATION	7.33
MINIMUM PERIMETER BERM ELEVATION	6.00

FEMA ELEVATION = 7.0'
FEMA MAP NUMBER: 12021C0394H
DATED MAY 16,2012

SURFACE WATER MANAGEMENT SUMMARY
BAYSHORE PARKING LOT (NORTH PARCEL)

CRITERIA	ELEV. (FT-NAVD)
CONTROL ELEVATION	0.36
10-YEAR, 3 DAY PEAK STAGE	3.05
25-YEAR, 3 DAY PEAK STAGE	3.18
MINIMUM RECOMMENDED PARKING LOT ELEVATION	3.10
MINIMUM PERIMETER BERM ELEVATION	3.60

FEMA ELEVATION = 7.0'
FEMA MAP NUMBER: 12021C0394H
DATED MAY 16,2012

SURVEY KEY DESCRIPTIONS

CODE	DESCRIPTION	CODE	DESCRIPTION	CODE	DESCRIPTION
AC	AIR CONDITIONING UNIT	FLGP	FLAG POLE	SDH	SET DRILL HOLE
ARL	ARROW LEFT	FMN	FOUND MAG NAIL, SIZE, L&B OR NOID	SFS	FEATURE SIGN
ARR	ARROW RIGHT	FMN	FOUND MAG NAIL, SIZE, L&B OR NOID	SG	SPOT GRADE (ON VARIOUS TYPES OF PAVEMENT)
ARS	ARROW STRAIGHT	FOC	FACE OF CURB, TYPE (A, D, E, F, VG)	SL	SIGN, TYPE (DONOT ENTER, HANDICAP, STOP, MPH, 1WAY, NO PARKING, TRAFFIC-GENERAL, ETC)
ARV	AIR RELEASE VALVE	FPL	FOUND P&K NAIL, SIZE, L&B OR NOID	SHT	SET HUB TACK
JBM	BENCHMARK (START w/BM OR FOLLOWS MON. CODE)	FPM	FLORIDA POWER AND LIGHT	SIR	SET IRON ROD, SIZE
BC	BUILDING CORNER	FSE	FINISH SECOND FLOOR ELEVATION	SL	SET LATHE, X (GRADE) OR CR (MARKED CUT) OR F# (MARKED CUT)
BFP	BACK FLOW PREVENTOR	FWD	FENCE WOOD	SNL	SET NAIL, SIZE
BKR	BRIE KICK	GA	GUY ANCHOR	SPK	SET PARKER KALON NAIL, SIZE
BOC	BACK OF CURB, TYPE (A, D, E, F, VG)	GB	GRADE BREAK	STL	STEEL PIPE, SIZE
BOL	BOLLARD, TYPE	GM	GAS MAIN MARKER	SV	SEWER VALVE
BPL	BLUE PLANT LINE	GP	GENERATOR PAD	SWB	SEA WALL BOTTOM
BPR	BRICK PAVEMENT	GR	GUIDE RAIL	SWL	SWALE/FLOW LINE
BRA	BRIDGE ABUTMENT	GSL	UNDERGROUND GAS LINE	SWT	SEA WALL TOP
BS	BACK SITE, POINT #	GSM	GAS METER	TBX	TELEPHONE BOX (IN GROUND)
BTS	BOTTOM OF STEP	GT	GREASE TRAP	TC	TERRA COTTA PIPE, SIZE
BUF	BURIED UTILITY FLAG	GV	GAS VALVE	TL	CONC. TRAFFIC POLE
BW	BOTTOM OF WALL	HH	HAND HOLE	TLM	METAL TRAFFIC POLE
CALC	CALCULATED COORDINATE POINT	HPM	HANDICAP MAN SYMBOL	TLW	WOOD TRAFFIC POLE
CB	CATCH BASIN, PIPE SIZE, INVERT	IRL	IRRIGATION METER	TGB	TOP OF BANK
CHW	CONCRETE HEADWALL	IRV	IRRIGATION VALVE	TOS	TOE OF SLOPE
CHL	CENTERLINE HEDGE, WIDTH	LDA	LANDSCAPE PLANTING AREA	TOW	TOP OF WALL
CMP	CORRUGATED METAL PIPE, SIZE	LIT	LITTORAL SHELF	TR	TRAVERSE POINT
CNP	CONCRETE PAD	LP	LIGHT POLE, TYPE (WOOD, METAL, FIBERGLASS, CONCRETE)	TR	TRAVERSE POINT
CO	CLEANOUT	LA	LANDSCAPE LIGHT	TR	TRAVERSE POINT
CS	CORRUGATED PLASTIC PIPE, SIZE	MB	MAILBOX	TR	TRAVERSE POINT
CSL	CONTROL STRUCTURE	MES	METERED END SECTION, PIPE SIZE (SHOT AT END OF PIPE AT INVERT)	TR	TRAVERSE POINT
CK	DOCK OR DECK	MHD	MANHOLE, DEPTH	TR	TRAVERSE POINT
DEAD	DEAD TREE, SIZE, #IF CLUSTER	MHE	ELECTRIC MANHOLE	TR	TRAVERSE POINT
DKP	DOCK OR DECK PILING OR POLE	MHS	SANITARY MANHOLE, DEPTH	TR	TRAVERSE POINT
DP	DUMPSITE	MHT	TELEPHONE MANHOLE	TR	TRAVERSE POINT
EB	ELECTRIC BOX (IN GROUND)	MHWL	MEAN HIGH WATER LINE	TR	TRAVERSE POINT
ELC	ELECTRIC LINE	MHWT	MANHOLE WATER	TR	TRAVERSE POINT
ELR	ELECTRIC RISER	MNGO	MANGO TREE, SIZE, #IF CLUSTER	TR	TRAVERSE POINT
EM	ELECTRIC METER	MPL	MAPLE TREE, SIZE, #IF CLUSTER	TR	TRAVERSE POINT
EOC	EDGE OF CONCRETE	NG	NATURAL GRADE (DIRT, GRASS, ETC.)	TR	TRAVERSE POINT
EOG	EDGE OF GRAVEL	OKW	OAK TREE, SIZE, #IF CLUSTER	TR	TRAVERSE POINT
EOP	EDGE OF PAVEMENT	OWW	OVERHEAD WIRES	TR	TRAVERSE POINT
EWL	EDGE OF WATER	PALM	PALM TREE, SIZE, #IF CLUSTER	TR	TRAVERSE POINT
EROP	ELLIPITICAL ROP, SIZE	PBD	PELICAN BAY IMPROVEMENT DISTRICT	TR	TRAVERSE POINT
ESW	EDGE SIDEWALK	PNE	PINE TREE, SIZE, #IF CLUSTER	TR	TRAVERSE POINT
ETP	ELECTRIC TRANSFORMER PAD	POL	POINT ON LINE	TR	TRAVERSE POINT
FCL	FENCE CHAIN LINK	PPR	PAPER TREE	TR	TRAVERSE POINT
FCM	FOUND CONCRETE MONUMENT, SIZE, L&B OR NOID	RCP	REINFORCED CONCRETE PIPE, SIZE	TR	TRAVERSE POINT
FOC	FIRE CORNER	RMP	HANDICAP RAMP	TR	TRAVERSE POINT
FDH	FIRE DEPARTMENT CONTROL	SB	STOP BAR STRIPING	TR	TRAVERSE POINT
FFE	FINISHED FLOOR ELEVATION	SCM	SET CONCRETE MONUMENT	TR	TRAVERSE POINT
FGE	FINISHED GARAGE FLOOR			TR	TRAVERSE POINT
FGL	FENCE GATE/GATE POST			TR	TRAVERSE POINT
PH	FIRE HYDRANT			TR	TRAVERSE POINT
PP	FOUND IRON PIPE, SIZE, L&B OR NOID			TR	TRAVERSE POINT
PIR	FOUND IRON ROD, SIZE, L&B OR NOID			TR	TRAVERSE POINT

FIRE LINE NOTES:

1. A SEPARATE PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY FIRE LINE.
2. UNDERGROUND FIRE LINES SHALL BE INSTALLED BY AN APPROPRIATELY CERTIFIED FIRE SPRINKLER CONTRACTOR OR A TYPE V UNDERGROUND CONTRACTOR AS DEFINED AND OUTLINED IN 633.021, 633.521 AND 633.539 F.S.

HOURS OF OPERATION

10 AM - 10 PM FOR BOTH FOOD TRUCKS AND BAR OPERATIONS

NOTES:

1. DISTANCE TO NEAREST RESIDENTIAL ZONED PROPERTY: 0 FT.
2. AMPLIFIED SOUND MUST COMPLY WITH COLLIER COUNTY NOISE ORDINANCE, CODE OF LAWS SECTION 54-81 THROUGH 54-84.
3. PER LDC 10.02.03.B.10, ADDITIONAL REQUIREMENTS MAY BE REQUIRED TO HELP MITIGATE IMPACTS TO ADJACENT RESIDENTIAL LOTS.



Know what's below.
Call before you dig.

QGM STANDARD ABBREVIATIONS

BFW	BUTT FUSION WELD
BL	BASELINE
BLVD	BOULEVARD
BOC	BACK OF CURB
BSP	BACTERIAL SAMPLE POINT
CB	CABLE TELEVISION
CL	CATCH BASIN
CL	CENTERLINE
CMO	CORRUGATED METAL PIPE
COP	CLEAN OUT
CONC.	CONCRETE
CUE	COUNTY UTILITY EASEMENT
DE	DRAINAGE EASEMENT
DIP	DUCTILE IRON PIPE
EL OR ELEV.	ELEVATION
EOP	EDGE OF PAVEMENT
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EXIST.	EXISTING
FOC	FIRE DEPARTMENT CONNECTION
FOOT	FLORIDA DEPARTMENT OF TRANSPORTATION
FE	FLARED END
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FFE	FINISHED FLOOR ELEVATION
FI	FIRE HYDRANT
FLG	FLANGED FITTING
FM	FORCE MAIN
FPL OR FP&L	FLORIDA POWER & LIGHT
GV	GATE VALVE
HDP	HIGH DENSITY POLYETHYLENE
HORIZ.	HORIZONTAL
HW	HEADWALL
INC.	INCORPORATED
INVT	INVERT
IRR	IRRIGATION
JB	JUNCTION BOX
LBR	LANDSCAPE BUFFER EASEMENT
L.F.	LINEAR FEET
LME	LAKE MAINTENANCE EASEMENT
ME	METERED END
MH	MANHOLE
M.J.	MECHANICAL JOINT
MN	MINIMUM
NGVD	NATIONAL GEODETIC VERTICAL DATUM
NIC	NOT IN CONTRACT
PBSP	PERMANENT BACTERIAL SAMPLE POINT
PL	PROPERTY LINE
POT.	POTABLE
PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
P.S.	PUMP STATION
REDUCER	REDUCER
RCP	REINFORCED CONCRETE PIPE
R.O.W.	RIGHT-OF-WAY
SAN.	SANITARY
SB	SOIL BORING
ST	STREET
STA.	STATION
SWK	SIDEWALK
SWR	SEWER
TBSP	TEMPORARY BACTERIAL SAMPLE POINT
TEMP.	TEMPORARY
TGB	TOP OF BANK
TOS	TOE OF SLOPE
TYP.	TYPICAL
UE	UTILITY EASEMENT
VERT.	VERTICAL
VG	VALLEY GUTTER
WI	WATER CONTROL STRUCTURE
WCS	WATER MAIN
WM	WATER MAIN
YD	YARD DRAIN

LEGEND

1	01/19	REVISED PER COUNTY COMMENTS DATED 11/30/18	K.L.M.		
Revision	Date	Description	By		

DESIGNED BY:	F.J.F.
DRAWN BY:	K.L.M.
APPROVED:	F.J.F.
JOB CODE:	BSPARKLT
SCALE:	N.T.S.



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Bonita Springs: 239.947.1144

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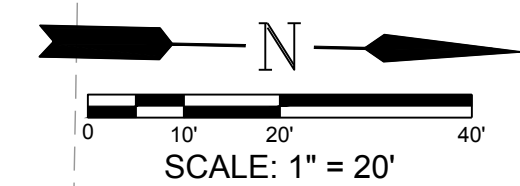
Fort Myers: 239.690.4380

Q. Grady Minor and Associates, P.A.
3800 Via Del Rey
Bonita Springs, Florida 34134

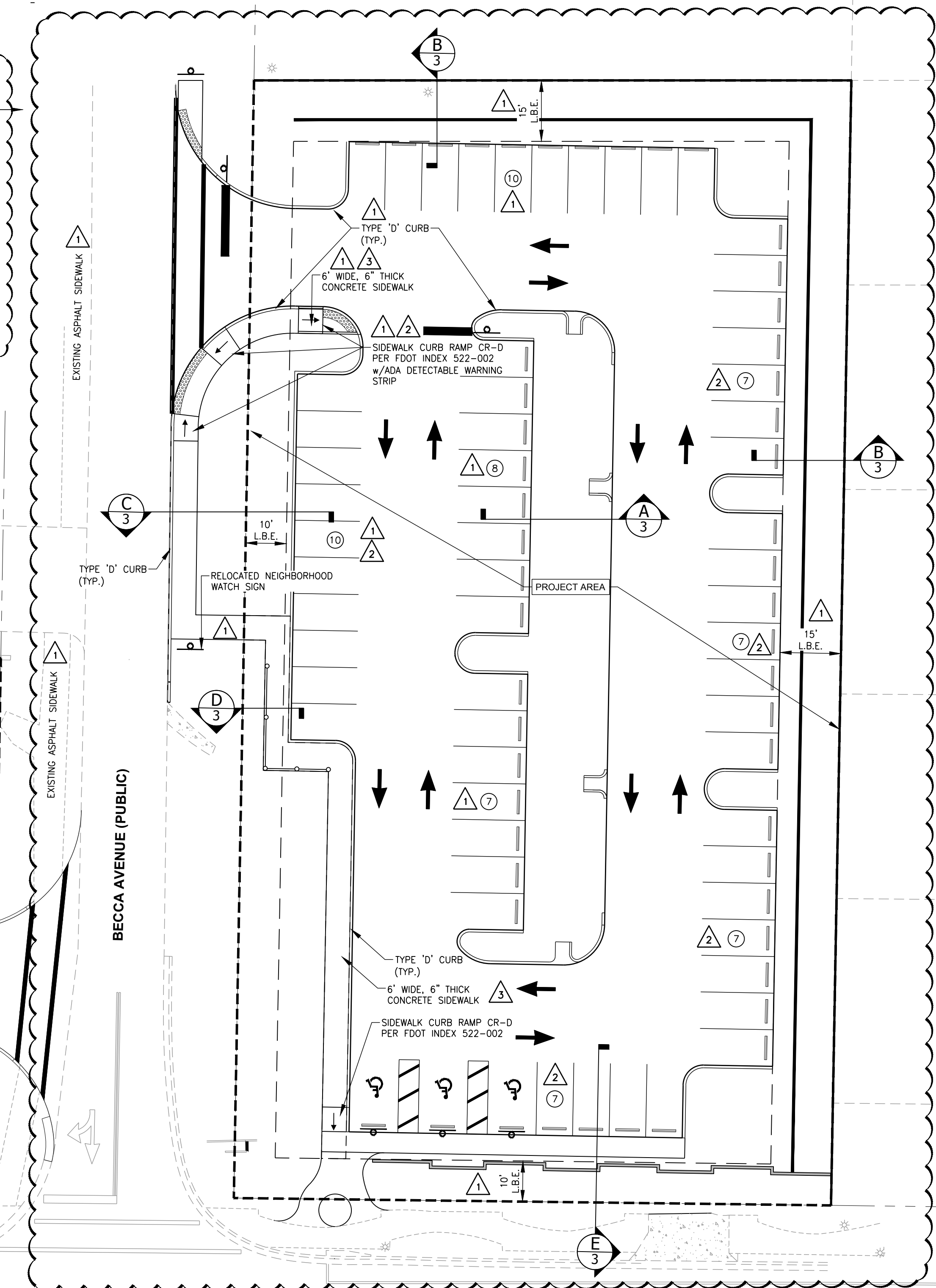
BAYSHORE PARKING LOT

GENERAL NOTES

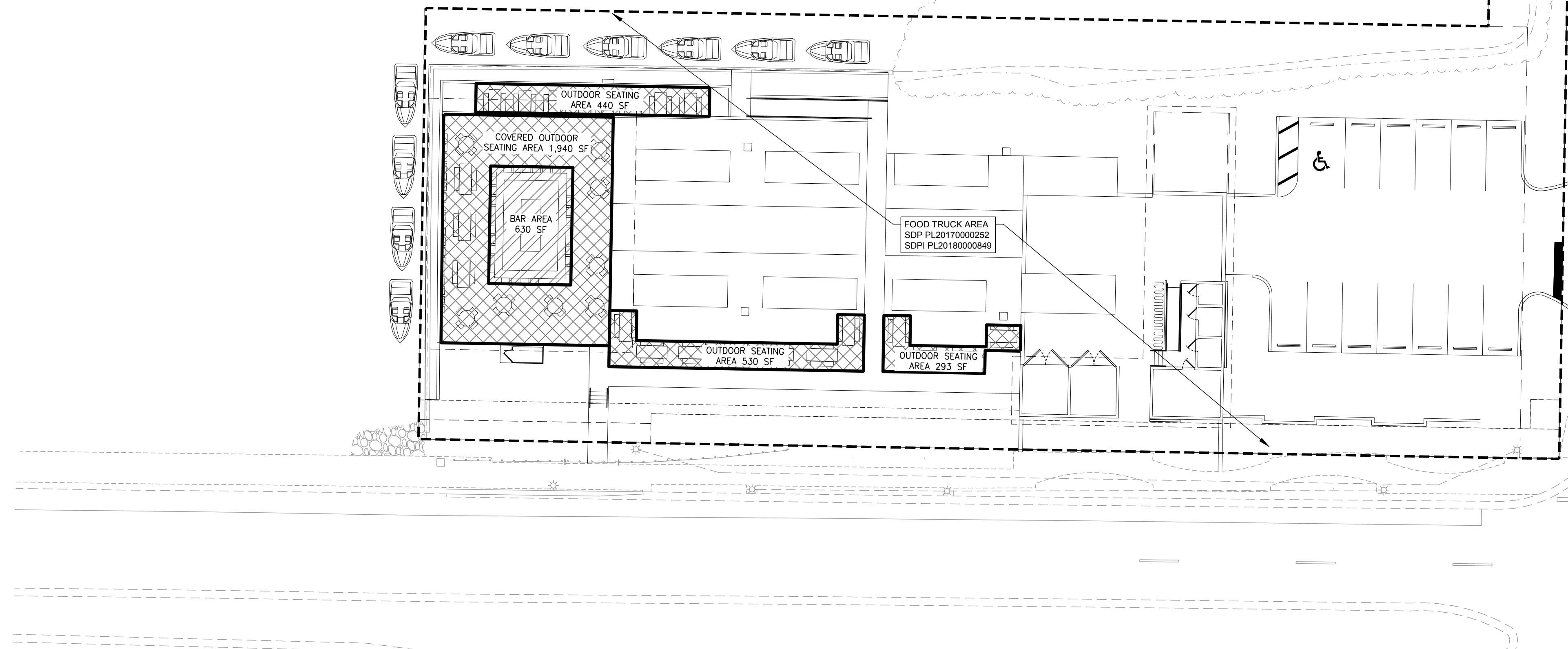
ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
CON



SECTION C
N.T.S.



SECTION D
N.T.S.



SECTION E
N.T.S.




MUNICIPALITY:	COLLIER COUNTY
SEC/TWNSHP/RNG	11/50S/25E
DATE:	OCTOBER 2018
SUBMITTAL TYPE:	SDPA
SHEET 3 OF 7	



NOTE:
1. EXISTING WATER TO BE ABANDONED IN ACCORDANCE TO NAPLES UTILITY REQUIREMENTS.
2. EXISTING SEWER SERVICE TO BE ABANDONED IN ACCORDANCE WITH COLLIER COUNTY TECHNICAL SPECIFICATION 38520.

NATIVE TREE PRESERVATION CALCULATIONS	
TOTAL NUMBER OF EXISTING NATIVE TREES	= 23 TREES
NATIVE TREES:	
9 CABBAGE PALMS	
1 ROYAL PALM	
1 OAK TREE	
12 MANGROVES	
PER LDC 3.05.07.B, 10% OF NATIVE TREES WILL NEED TO BE PRESERVED X 10%	
REQUIRED NATIVE TREE PRESERVATION	= ± 3 TREES
ALL MANGROVES WILL BE PRESERVED.	
PROVIDED TREE PRESERVATION	= ± 12 TREES

- MH EX. STORM DRAINAGE MANHOLE
- MES EX. MITERED END SECTION
- LP EX. ELECTRICAL STRUCTURE
- WPP EX. TELECOMMUNICATIONS UTILITY
- EX. LIGHT POLE
- EX. WOODEN POWER POLE
- EX. GRADE ELEVATION

LEGEND

- PROPOSED CLEARING AND GRUBBING (0.78 ACRES)
- DENOTES DEMOLITION
- SILT FENCE

Revision	Date	Description	By
2	02/19	REVISED PER COUNTY COMMENTS	K.L.M.
1	01/19	REVISED PER COUNTY COMMENTS DATED 11/30/18	K.L.M.

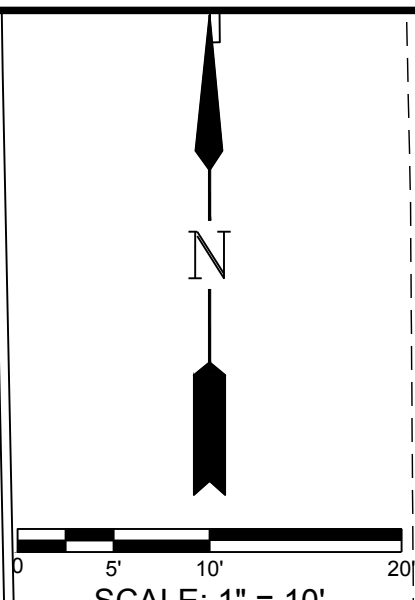
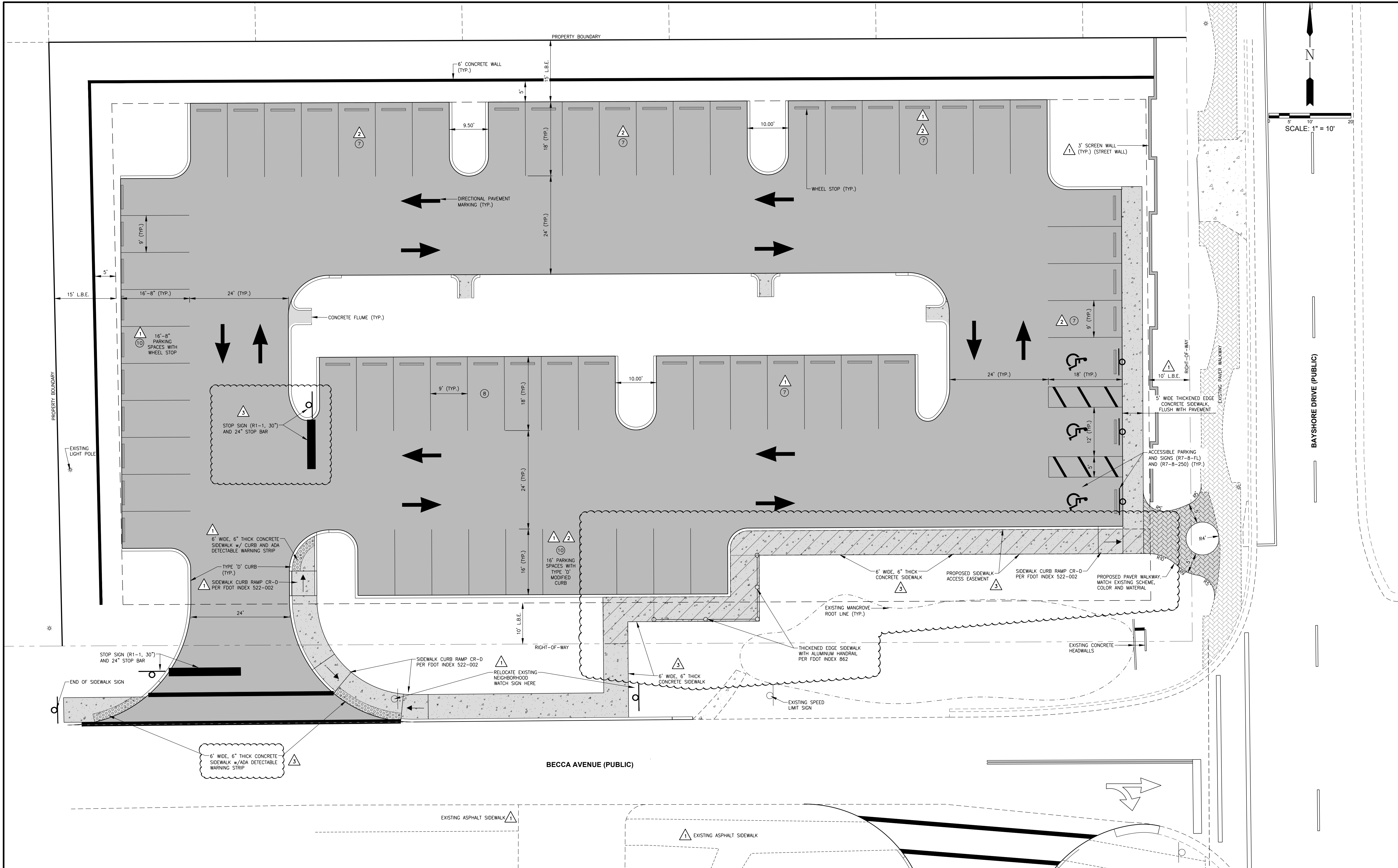
DESIGNED BY: F.J.F.
DRAWN BY: K.L.M.
APPROVED: F.J.F.
JOB CODE: BSPARKLT
SCALE: 1" = 10'

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BAYSHORE PARKING LOT
AERIAL, EXISTING CONDITIONS, DEMOLITION AND EROSION CONTROL PLAN
ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.217

FRANCIS JOSEPH FEENEY, P.E.
FLORIDA P.E. LICENSE NO. 64698

MUNICIPALITY: COLLIER COUNTY
SEC/TWNSHP/RNG 11/50S/25E
DATE: OCTOBER 2018
SUBMITTAL TYPE: SDPA
SHEET 4 OF 7



PROPOSED PAVEMENT

EXISTING CONCRETE

EXISTING PAVEMENT SIDEWALK

PROPOSED PAVEMENT SIDEWALK

LEGEND

Revision	Date	Description	By
3	05/19	REVISED PER COUNTY COMMENTS	D.M.S.
2	02/19	REVISED PER COUNTY COMMENTS	K.L.M.
1	01/19	REVISED PER COUNTY COMMENTS DATED 11/30/18	K.L.M.

DESIGNED BY:

F.J.F.

DRAWN BY:

K.L.M.

APPROVED:

F.J.F.

JOB CODE:

BSPARKLT

SCALE:

1" = 10'

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Q. Grady Minor and Associates, P.A.

3800 Via Del Rey

Bonita Springs, Florida 34134

BAYSHORE PARKING LOT

SITE, SIGNING AND MARKING PLAN

ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)

CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+) 1.217

MUNICIPALITY:

COLLIER COUNTY

SEC/TWNSHIP/RNG

11/50S/25E

DATE:

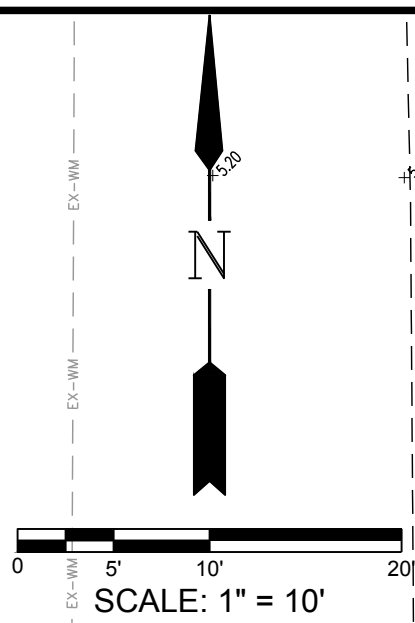
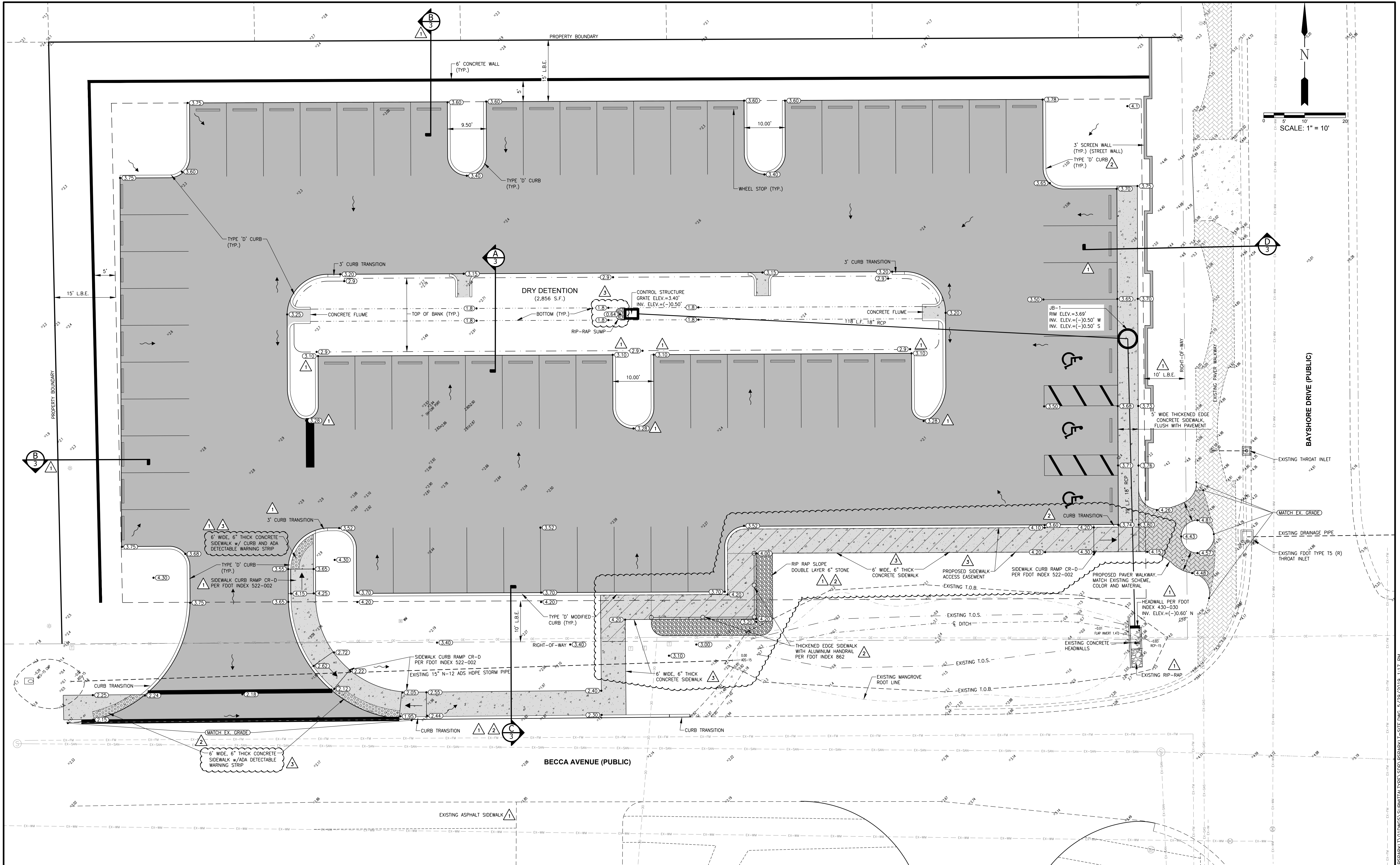
OCTOBER 2018

SUBMITTAL TYPE:

SDPA

SHEET 5 OF 7

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LBE

LANDSCAPE BUFFER ESMT

DBI

DITCH BOTTOM INLET

FES

FLARED END SECTION

T1

THROAT INLET

TOB

TOP OF BANK

TOS

TOE OF SLOPE

—

FLOW DIRECTION

—

PROPOSED GRADE

—

EXISTING GRADE

PROPOSED PAVEMENT

EXISTING CONCRETE

PROPOSED CONCRETE

EXISTING PAVEMENT SIDEWALK

PROPOSED PAVEMENT SIDEWALK

Revision	Date	Description
3	05/19	REVISED PER COUNTY COMMENTS
2	02/19	REVISED PER COUNTY COMMENTS
1	01/19	REVISED PER COUNTY COMMENTS DATED 11/30/18

By	Job Code	Scale
D.M.S.	BSPARKLT	1" = 10'

DESIGNED BY: F.J.F.

DRAWN BY: K.L.M.

APPROVED: F.J.F.

JOB CODE: BSPARKLT

SCALE: 1" = 10'

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BAYSHORE PARKING LOT

GRADING, PAVING AND DRAINAGE PLAN

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CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.217

FRANCIS JOSEPH FEENEY, P.E.

FLORIDA P.E. LICENSE NO. 64698

MUNICIPALITY: COLLIER COUNTY

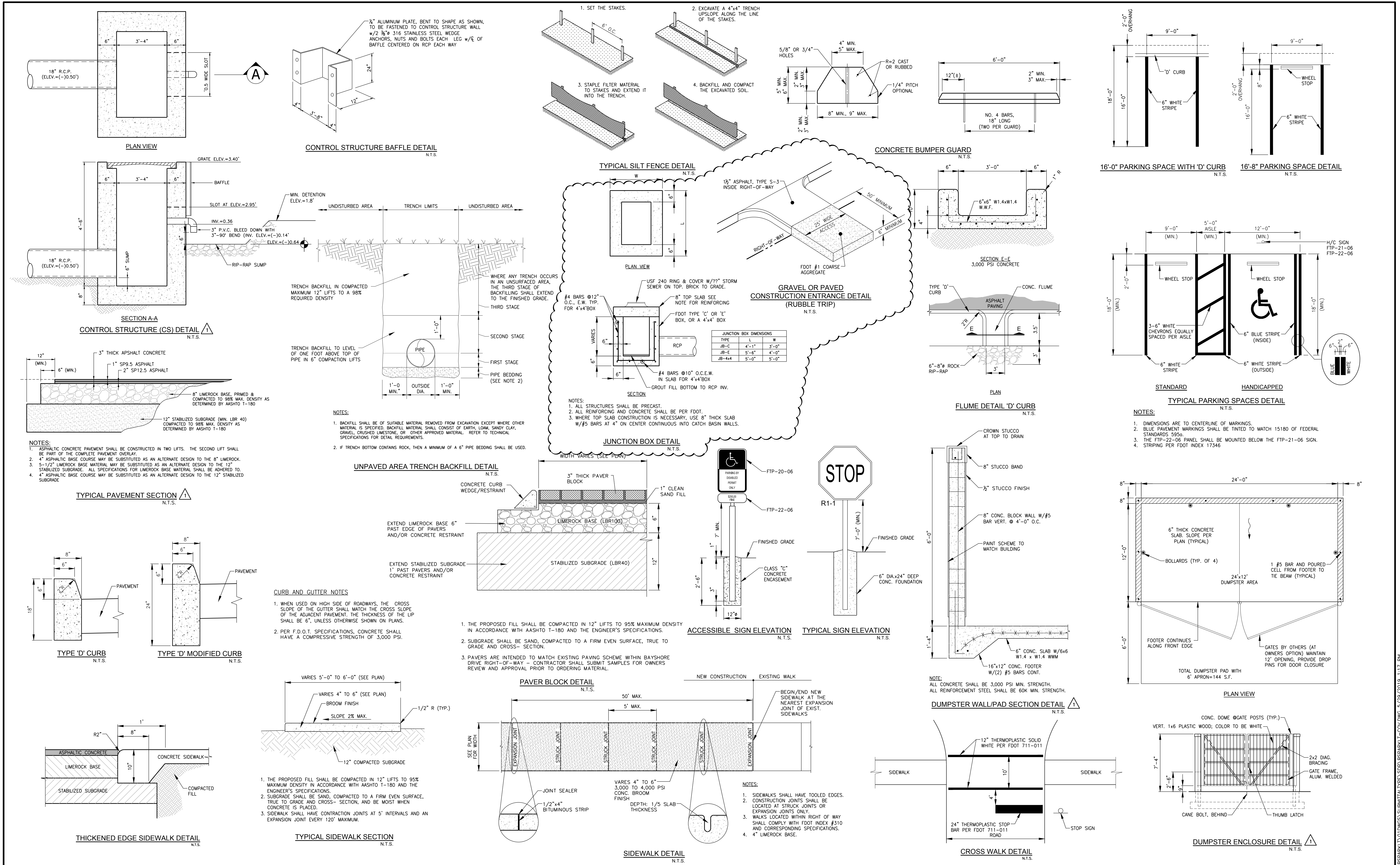
SEC./TNSHP./RNG 11/50S/25E

DATE: OCTOBER 2018

SUBMITTAL TYPE: SDPA

SHEET 6 OF 7

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LEGEND

Revision	Date	Description
1	01/19	REVISED PER COUNTY COMMENTS DATED 11/30/18

DESIGNED BY:

DRAWN BY:

APPROVED:

JOB CODE:

SCALE:

By

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BAYSHORE PARKING LOT

GENERAL DETAILS

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MUNICIPALITY:

COLLIER COUNTY

SEC/TWNSHP/RNG

11/50S/25E

DATE:

OCTOBER 2018

SUBMITTAL TYPE:

SDPA

SHEET

7 OF 7